

	<b>Planning and Zoning Commission STAFF REPORT</b>	<b>AGENDA</b>  # _____
---	--	------------------------------

**TO:** CASA GRANDE PLANNING AND ZONING COMMISSION

**FROM:** Jim B. Gagliardi, City Planner

**MEETING DATE:** August 1, 2013

<b>REQUEST</b>
----------------

**Request by Randy Winch** for the following land use request:

1. **DSA-13-00097: Conditional Use Permit** for a 2,000 sq. ft. detached garage on Urban Ranch zoned property located at 908 E. Trailblazer Rd. (APN 511-76-002R).

<b>APPLICANT/OWNER</b>
------------------------

**Applicant**

Randy Winch  
908 E Trailblazer Rd  
Casa Grande, AZ 85193  
P: 520-705-2927  
F: N/A  
Email: [cdlandscaping@ymail.com](mailto:cdlandscaping@ymail.com)

**Owner**

Same as Applicant

<b>HISTORY</b>
----------------

2006: Single-family residence was constructed and property was developed within the Pinal County jurisdictional authority.

February 17, 2009: Mayor and City Council adopted Ordinance No. 2560 annexing the property into the City of Casa Grande city limits and applied the zoning of Urban Ranch (UR).

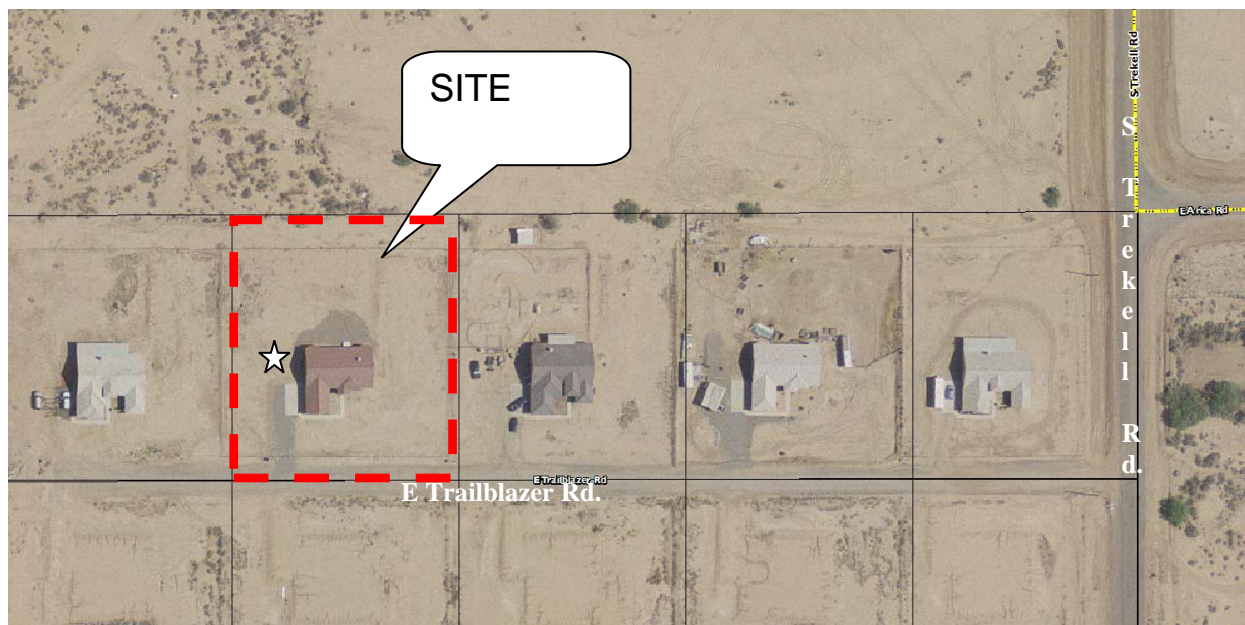
<b>PROJECT DESCRIPTION</b>
----------------------------

<b>Site Area</b>	1.30 acres (56,628 sq. ft.)
<b>Current Land Use</b>	Rural
<b>Existing Zoning</b>	Urban Ranch

## Surrounding Land Use and Zoning

Direction	General Plan 2020 Designation	Existing Zoning
North	<i>Neighborhoods</i>	PAD (Planned Area Development)
East	<i>Rural</i>	UR (Urban Ranch)
South	<i>Rural</i>	UR (Urban Ranch)
West	<i>Rural</i>	UR (Urban Ranch)

### SITE CONTEXT AERIAL



### General Discussion:

Property owner Randy Winch is requesting the approval of a Conditional Use Permit to construct a 2,000 sq. ft. detached garage (50 ft. X 40 ft.) on the west side of his single-family home to use as storage. The property is 1.30 acres total acres and is located west of S. Trekell Rd. and south of E. Arica Rd.

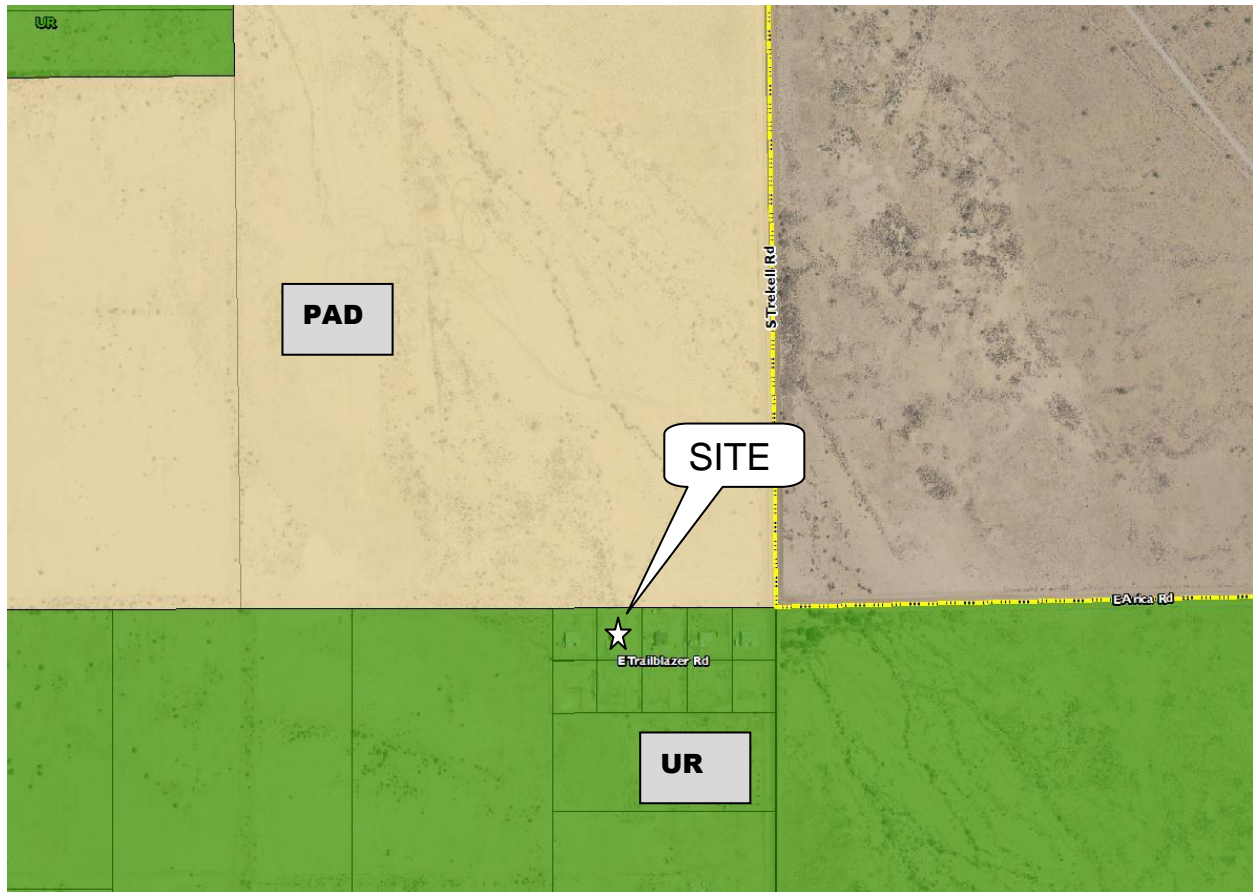
The zoning of the subject site is Urban Ranch (UR), which per City Code 17.52.080.D, permits detached garages larger than 675 sq. ft. as a Conditionally Permitted Use.

The proposed detached garage is 16 ft. in height and will be comprised of concrete masonry unit at the base and the corners of the garage. It is to have wood framing and siding and asphalt-shingle roofing. The exterior will be painted to match the color of the home. The structure is to be permitted by the City Building Department. The site is located in a very low density area in a neighborhood with lots over 1.25 acres. The applicant suggests that the use is appropriate. It will not have any adverse effect on the surrounding properties. It fits within the rural context of the area.

## CONFORMANCE WITH ZONING

The property is zoned Urban Ranch (UR). The purpose of the UR zone is to provide for the development of single family detached dwelling units at very low densities and to provide for the establishment of a wide range of agricultural uses. Within the UR zone district, accessory structures are permitted. Accessory structures over 675 sq. ft. are permitted with the approval of a conditional use per 17.52.080.D of the City Code. Accessory structures within the UR zone require a minimum 50 ft. front yard setback, a minimum 3 ft. interior side setback, and a minimum 3 ft. rear yard setback. The subject site and proposed placement of the 2,000 sq. ft. detached garage meets the size, dimensional, setback, and height requirements for UR-zoned properties as outlined within Tables 17.20.050 and 17.20.060 of the City Code.

### Zoning Map



<b>CONFORMANCE WITH CONDITIONAL USE PERMIT REVIEW CRITERIA</b>
--

*The Commission, in approving a Conditional Use Permit, shall find as follows:*

**That the site for the proposed use is adequate in size and topography to accommodate the use, and all yards, spaces, walls and fences, parking, loading and landscaping are adequate to properly relate the use with the land and uses in the vicinity;**

The property is has no significant vegetation or topography to be disturbed by the placement of the proposed garage. The size of the property and adjacent lots coupled with the low density of the area surrounding the neighborhood contribute to the compatibility of the placement of a 2,000 sq. ft. detached garage. The existing driveway serving the existing garage will be used; therefore minimum disturbance to the surrounding area will occur. Personal traffic entering and exiting property will still be contained to the same area as has traditionally occurred.

**That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;**

A condition of approval is that this garage is to be used for storage of personal items and vehicles only, and not to be used for a business. As such, the proposed use will not generate additional traffic. No access points will be changed. As mentioned above, the site's existing driveway for the home's attached garage will be used.

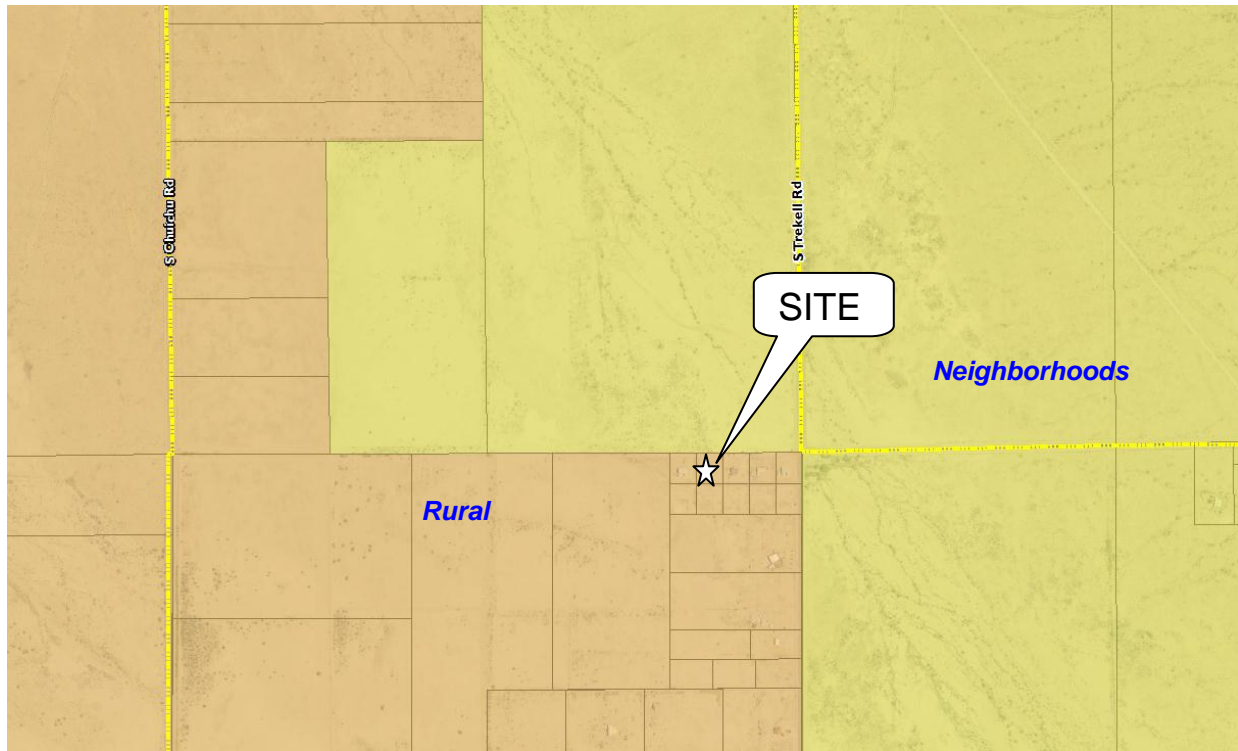
**That the proposed use will have no adverse effect upon the abutting property;**

The proposed garage will be 32 ft. from the closest neighbor's property line. There would be an approximate distance of 110 ft. between the wall of the garage and the wall of the adjacent property's home. This distance serves as adequate buffer between structures. With the neighborhood's large ranch-style lots, staff contends that the garage will not adversely impact abutting property. No comments were received by the owner of the abutting property.

**That the proposed use shall be in conformance with the General Plan;**

The site is within the *Rural* category of the General Plan and conforms to the goals of the Rural land use category. Residential uses and accessory outbuildings are allowed in said category. The placement of the proposed detached garage would maintain the Rural category's form of large front and side yard setbacks and varied building architecture and design. This category also allows outbuildings to be visible from street and adjacent properties.

## General Plan 2020 Map



**That the conditions stated in the approval are deemed necessary to protect the public health, safety and general welfare.**

Staff finds that because the garage is nearly three times the size than what is allowed as a permitted use, conditions are necessary to ensure that the use will have no adverse effect on the public health, safety and general welfare of the community. This will ensure compatibility with surrounding area. The conditions are stated below and are included within Resolution DSA-13-00097.

### **PUBLIC NOTIFICATION/COMMENTS**

#### **Notification**

Public hearing notification efforts for this request meet the requirements set out by City Code. They include:

- A notice was published in the Casa Grande Dispatch on July 16, 2013 for the August 1, 2013 Planning and Zoning Commission public hearing.
- Notice was mailed by the City on July 10, to each owner of property situated within 200 hundred feet of the subject property. An affidavit confirming this is located in the project file.
- A sign was posted by the applicant on July 17, 2013 on the subject site at least fifteen days before the day of the hearing. An affidavit confirming this posting was supplied by the applicant.

## **Inquiries/Comments**

Staff received no response from the public notification.

<b>STAFF RECOMMENDATION</b>
-----------------------------

Staff recommends the Planning and Zoning Commission approve, **Conditional Use Permit and associated Resolution DSA-13-00097** for a **2,000 sq. ft. detached garage** at 908 E Trailblazer Rd. (APN 511-76-002R) with the following technical modification and conditions:

### **1. Technical modifications:**

That a revised site plan be submitted to Planning staff showing accurate lot dimensions, residence footprint, and specified elevation detail on the proposed garage.

### **2. Conditions of approval:**

Per Resolution DSA-13-00097:

- a. The garage is to be used for storage of personal items and vehicles only, and not to be used for a business.
- b. Maximum height of the accessory building shall not exceed eighteen ft.
- c. Garage shall not occupy more than 25% of the rear yard.

### **Exhibits:**

Exhibit A – Project Narrative  
Exhibit B – Applicant Justification Statement  
Exhibit C – Site Plan  
Exhibit D – Elevations  
Exhibit E – Resolution

Project Narrative.

Requesting to build Detached Garage  
On West Side of House. Approx 2000 sq FT.  
Garage For Storage.



## Conditional Use Permit Justification Statement

In accordance with Section 17.68.120.B, the Planning and Zoning Commission (Commission) shall find that the Conditional Use Permit (CUP) application complies with the below review criteria:

Please explain how the proposed use complies with the following CUP review criteria:

1. That the site for the proposed use is adequate in size and topography to accommodate the use, and all yards, spaces, walls and fences, parking, loading and landscaping are adequate to properly relate the use with the land and uses in the vicinity.

Property is adequate in size to accommodate  
this garage & should add value & enhance  
appearance -

2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use:

- a) Is the plan in conformance with the Small Area Transportation Study.
- b) Is there adequate access to meet Code requirements?
- c) Does the site meet Parking standards and ADA requirements based on the proposed uses?

N/A. Reduced area. Should not add to  
traffic because it's just storage.

3. That the proposed use will have no adverse effect upon the abutting property.

We meet all set back requirements & should  
not interfere with lines of sight.  
Nothing added.

4. That the proposed use shall be in conformance with the general plan:

- a) Do the proposed land uses comply with the relevant General Plan Land Use category (Neighborhoods, Manufacturing Industry, Commerce and Business, etc.)?
- b) Does the project meet the Vision, Goals, and Objectives identified in the General Plan?
- c) If the project is for a multi-family residential development or mixed-use development, are the proposed densities adhering to the citywide net target?

Should comply with all general plans.



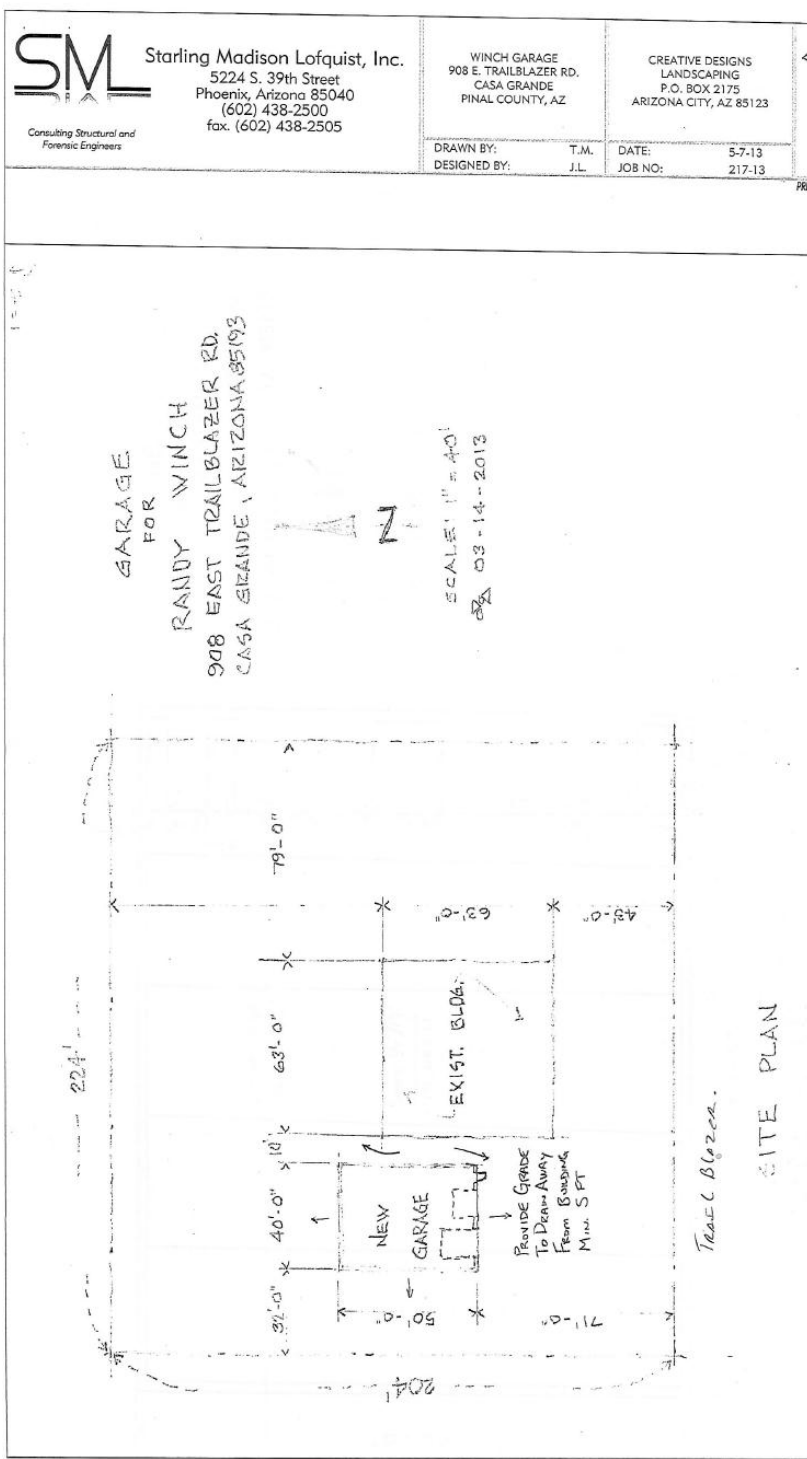
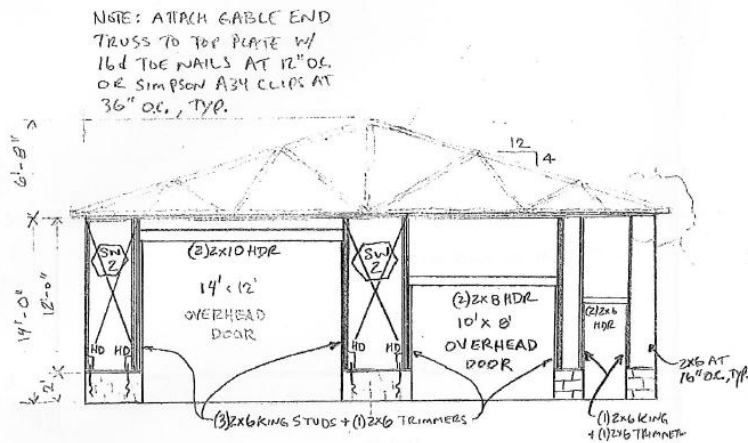


Exhibit C –Site Plan



GARAGE  
FOR  
RANDY WINCH  
808 EAST TRAILBLAZER RD  
CASA GRANDE, ARIZONA 85193

SCALE:  $\frac{1}{8}" = 1'-0"$   
03-15-2013

SOUTH ELEVATION  
(NORTH ELEV. SAME W/NO DOORS)

HD = HOLD-DOWN PER SCHEDULE  
SW2 = SHEAR WALL 2 PER SCHEDULE

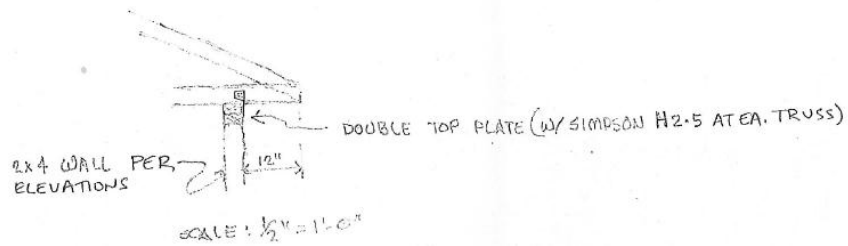


Exhibit D – Elevations

RESOLUTION NO. DSA-13-00097

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION FOR THE CITY OF CASA GRANDE GRANTING A CONDITIONAL USE PERMIT FOR A 2,000 SQUARE FOOT GARAGE LOCATED AT 908 EAST TRAILBLAZER ROAD, W-222.40 OF THE E-889.60 OF THE N2 OF THE N-521.00 OF THE NE OF SEC 20-7S-6E, PINAL COUNTY, ARIZONA APN 511-76-002R.

WHEREAS, applicant and property owner, Randy Winch, has requested a conditional use permit;

WHEREAS, the conditional use permit is requested for a 2,000 square foot garage, which is considered an accessory building, at 908 E Trailblazer Road;

WHEREAS, the property is zoned Urban Ranch (UR);

WHEREAS, the Casa Grande City Code requires any accessory building or garage exceeding 675 sq. ft. located in a residential district receive a conditional use permit;

WHEREAS, on the 1st day of August 2013, the Planning and Zoning Commission of the City of Casa Grande held a public hearing regarding the request for the conditional use permit;

WHEREAS, the Planning and Zoning Commission of the City of Casa Grande considered all public comments made at said hearing; and

WHEREAS, the Planning and Zoning Commission of the City of Casa Grande has determined that the proposed use would be appropriate for the location proposed, subject to the condition set forth in this Resolution;

NOW THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the City of Casa Grande, Arizona, as follows:

1. The Planning and Zoning Commission of the City of Casa Grande makes the following findings:

- a. The site for the proposed use is adequate in size and topography to accommodate the use, and all yards, spaces, walls and fences, parking, loading and landscaping is adequate to properly relate the use with the land and the uses in the vicinity;
- b. The site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;

- c. The proposed use will have no adverse effect upon the abutting property;
- d. The proposed use is in conformance with the General Plan; and
- e. The conditions stated in this approval are necessary to protect the health, safety and general welfare.

2. The Planning and Zoning Commission of the City of Casa Grande approves the conditional use permit request by the Applicant subject to the following special conditions which are deemed necessary by the Commission to protect the public health, safety and general welfare:

- a. The garage is to be used for storage of personal items and vehicles only, and not to be used for a business.
- b. Maximum height of the accessory building shall not exceed eighteen ft.
- c. Garage shall not occupy more than 25% of the rear yard.

3. The Planning and Zoning Commission of the City of Casa Grande approves the conditional use permit request by the Applicant subject to the following general conditions:

- a. That the special condition shall constitute restrictions running with the land and shall be binding upon the owner of the land, his successors and assigns.
- b. That all conditions specifically stated under any conditional use listed in this chapter shall apply and be adhered to by the owner of the land, his successors or assigns.
- c. That the special condition shall be consented to in writing by the applicant.
- d. That the resolution granting the application, together with all consent forms, shall be recorded by the county recorder.

PASSED AND ADOPTED by the Planning and Zoning Commission of the City of Casa Grande, Arizona, this \_\_\_\_ day of \_\_\_\_\_, 2013.

---

P & Z Commission Chairman

---

Planning & Development Director

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Assistant City Attorney

APPLICANT'S CONSENT TO THE SPECIAL CONDITIONS

Applicant and owner Randy Winch, hereby consents to the special conditions as enumerated above in Section 2 as they relate to this request for a conditional use permit for a 2,000 sq. ft. detached garage located at 908 E. Trailblazer Rd., Casa Grande, AZ.

\_\_\_\_\_  
Randy Winch  
Applicant and Property Owner

Exhibit E – Resolution